

Detached Garages

*This handout is for informational purposes only.
The provisions of the City's adopted codes prevail.*



Document Submittal List

- [Permit Application for Construction or Use](#)
- One copy of plat of survey (to scale) with location and dimensions of existing and proposed structures, easements and utilities indicated on the plat.
- Building plan and elevation drawings with all dimensions of the proposed structure. Drawings should be signed and sealed by a licensed design professional. Alternatively, a signed and sealed letter certifying the drawings can be submitted.

Failure to provide any of the above documents may result in processing delays.

General Information and Fees

- A permit is required to construct detached garages.
- The application review period usually averages two weeks. The applicant will be contacted when the permit is ready for issuance and payment.
- If work commences prior to permit issuance, the building permit fee shall be doubled.
- A list of required inspections is provided on the reverse side of the permit. Inspections must be scheduled at least one day prior to the desired inspection date by calling the Warrenville Community Development Department (630-393-9050).
- A permit may become invalid if work does not begin within 180 days of issuance, or if construction has been halted and not resumed for a period of 60 consecutive days.
- Homeowner Association (HOA) approval may be required before commencing work. The issuance of a permit does not exempt HOA rules and regulations.
- It is the homeowner/contractor's responsibility to have underground utilities located not less than 48 hours before digging commences by calling J.U.L.I.E (811).
- Fees:

Plan review fee	\$30 up to 400 square feet, \$40 up to 1000 square feet, \$50 up to 1,600 square feet
Building permit fee	\$6.00 per \$1,000 valuation, minimum \$30.00
Electrical and plumbing permit fees	Vary based on scope of work

- Bond: \$100.00 building bond for accessory structures up to 120 square feet or a \$200.00 building bond for accessory structures greater than 120 square feet must be paid at the time of building permit issuance, and will be refunded upon completion and approval of the project in accordance with all applicable City Ordinances in the manner in which it was initially submitted.
- The fees listed in this document are for general guidance and not necessarily comprehensive. Required utility upgrades, changes made to the approved permit, or items not mentioned will be assessed accordingly.
- All work performed shall comply with the 2015 International Residential Code and all local amendments.
- Approved construction documents shall be available on site at all times.
- Alterations to the approved plans must be resubmitted to the Chief Code Official in writing for review and approval prior to construction.

Zoning Regulations

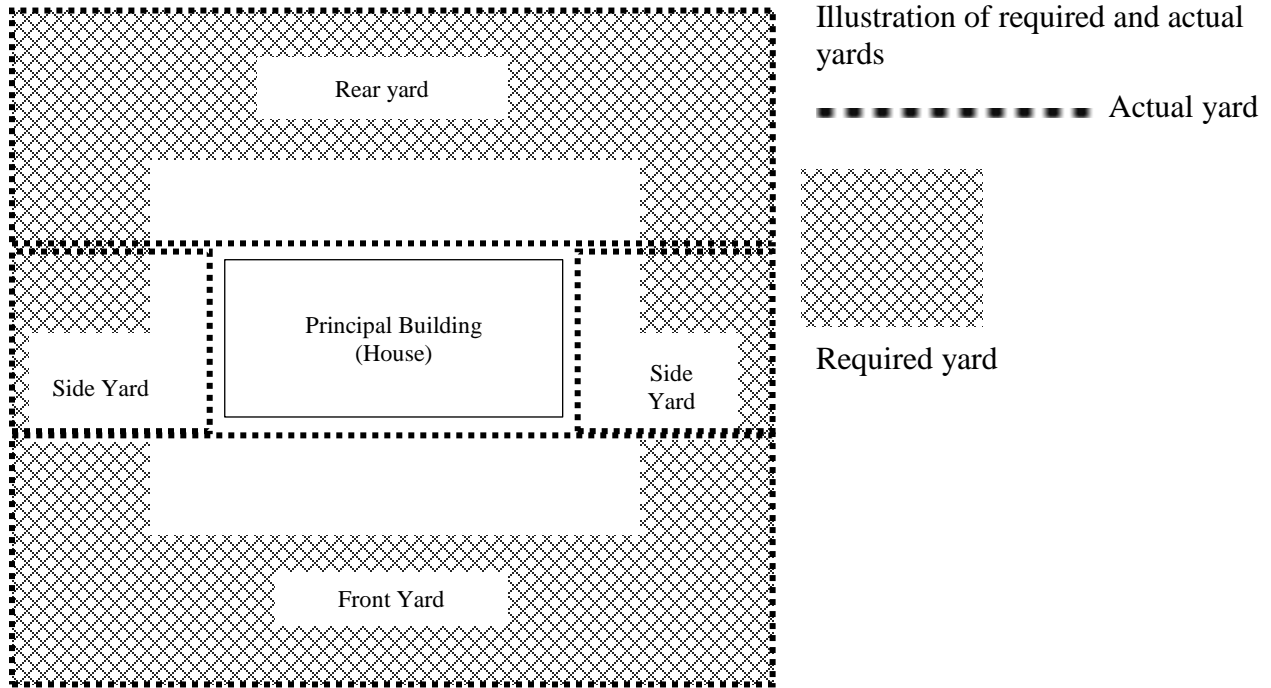
- Detached garages are not permitted in any type of easement.
- Maximum height of garage:

On Lots less than 18,000 sf.	23 feet*
On Lots 18,000 sf. – 40,000 sf.	24 feet*
On Lots greater than 40,000 sf.	27 feet
In R-6 Districts	18 feet

*Maximum eave height shall not exceed ten feet. The eave height is the vertical dimension between finished floor and the top of the lowest edge of roof sheathing.

- Detached Garages shall not exceed 20% of the required rear yard. This 20% is cumulative for all accessory structures in the rear yard excluding areas occupied by open patios, decks, and swimming pools. Accessory structures shall not exceed 40% of the actual rear yard area between the back of the house and the rear property line.
- A detached garage shall be separated not less than eight-foot from the principal building and not less than six feet from other accessory buildings.
- Detached garages over 1,000 square feet in ground floor area shall be setback 20 feet from side and rear property lines.
- Maximum ground floor area of any detached garage and cumulative for all accessory buildings on the property in Residential Districts shall not exceed:

On Lots up to 18,000 sf.	650 sf.
On Lots 18,000–40,000 sf.	825 sf.
On Lots greater than 40,000 sf.	2.5% of the lot size, up to a maximum size of 2,000 sf.



- Detached garages must be located outside the required front yard, interior side yard, and corner side yard building setbacks; however the following exceptions may apply:
 - a. Garages served by an approved driveway are allowed within the interior side yard setback, provided they are at least three feet from an interior property line. Garages are not permitted within any corner lot side yard setback as indicated in Table 4A.
 - b. Detached garages proposed in the required rear yard may be setback a minimum of three feet from the property line, provided they are not located within any easement.
- Required building setbacks in feet¹ :

Zoning District	Front or Corner Side Yard	Interior Side Yard	Rear Yard
R-1 & R-1A	40	20 ²	60
R-2	40	12.5 ²	60
R-3	35	10 ²	40
R-4	35	7.5 ²	35
R-5	30	5 ²	30
R-6	30	5 ³	30

¹ Certain subdivisions approved as a Planned Unit Development (PUD) may have setback requirements different from those in this table. E.g. Summerlakes

² Or 10% of the width of the lot, whichever is less.

³ Single-family attached housing is ten feet, side yard requirement does not apply where the unit is attached to another unit at the side lot line.

- Detached garages are subject to the maximum lot coverage requirements.

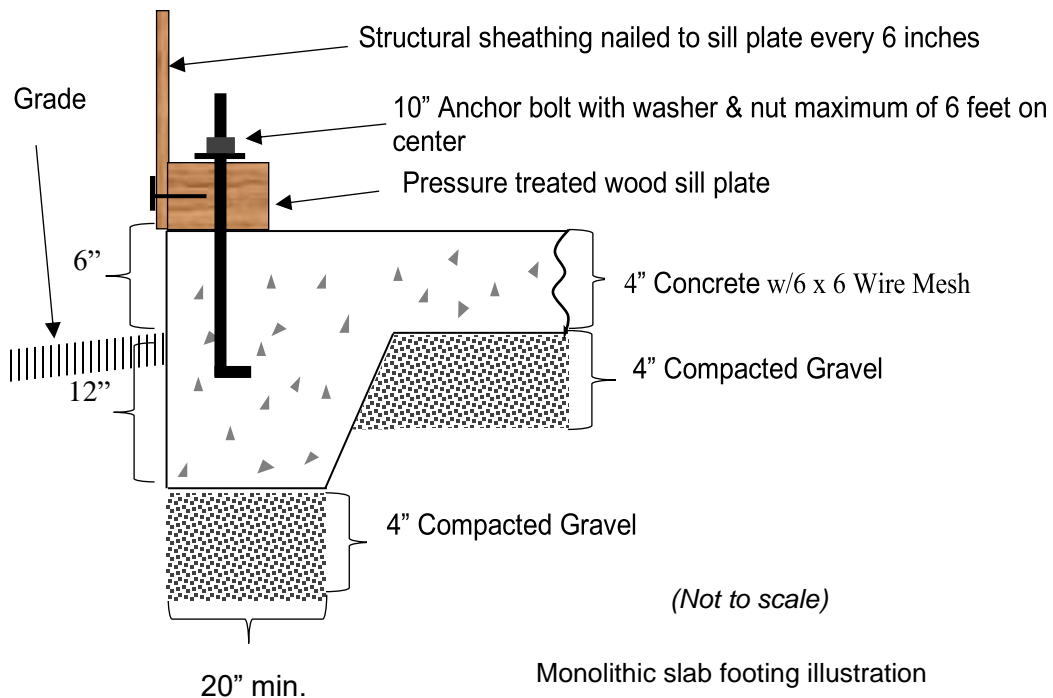
Lot size	Maximum Lot coverage
>= 30,000 sf.	18%
>= 14,000 sf. and < 30,000 sf.	22%
>= 10,000 sf. and < 14,000 sf.	26%
>= 7,000 sf. and < 10,000 sf.	30%
< 7,000 sf.	34%

An additional 2% lot coverage shall be allowed for accessory structures that do not qualify as a principal or accessory building

- Maximum cumulative number of accessory buildings on lot is two.

Construction Requirements

- Footings for detached garages up to 600 square feet shall be constructed as follows:
 - The bottom of the concrete footing shall be not less than 12 inches below the finished grade.
 - The minimum distance from finished grade to top of footing is 6 inches.
 - Four inches of compacted gravel shall be placed at the bottom of the footings.
 - 4 inch thick concrete slab shall be poured over 4 inches of compacted gravel.
 - 10 inch anchor bolts placed seven inches into the concrete shall be spaced a maximum of six feet apart. Each wall section requires at least two anchors.
 - The slab shall not be less than four inches thick.



- Detached garages greater than 600 square feet require a foundation wall and footing.
- A pressure treated or other rot resistant sill plate is required to be attached with anchors.
- The maximum spacing of wall studs in a single story detached garage is 24 inches or 16 inches in a garage with multiple stories.
- Walls with overhead garage door openings require solid wall bracing panels in accordance with Section R602.10.6.3 of the 2015 International Residential Code.
- Rafters and joists shall be fastened to the top plate of the wall with two 16d box nails toe nailed on one side of the rafter/joist and one 16d box nail toe nailed on the opposite side of the rafter/joist.
- Rafter ties are required to be a minimum of 2"x 4" with maximum spacing of 4' on-center.
- Truss systems shall be attached to the wall per the manufacturer's instructions.
- A minimum 7/16-inch thick sheathing is required for roof decks.
- Roof sheathing panels shall be staggered and fastened to framing with 8d common nails spaced every six inches on the edges and every 12 inches to the intermediate supports.
- Any cutting of brick, stone, and/or concrete must be done using the "wet-saw" method, or under the protection of an enclosed tent that completely contains the air-borne particulates produced by cutting.