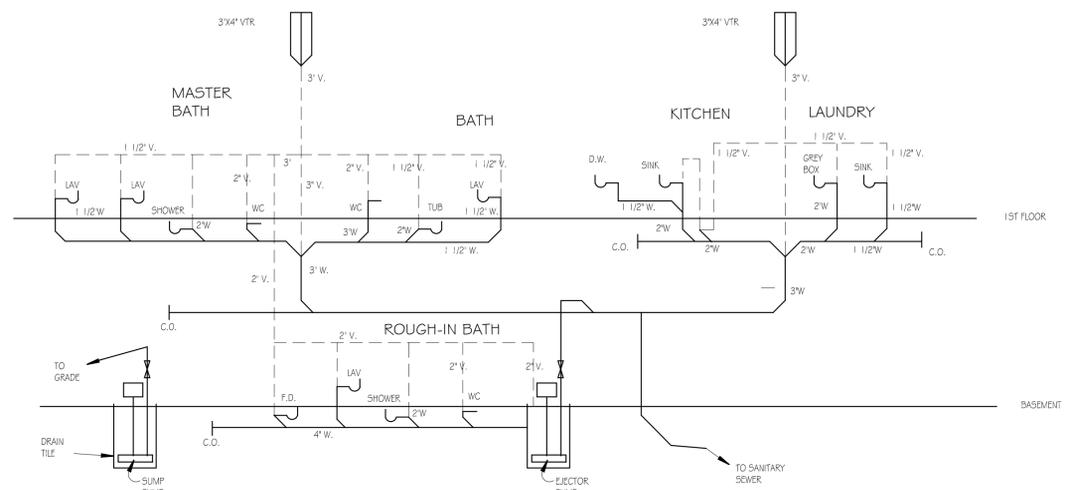


### RISER DIAGRAM (SUPPLY)

NO SCALE



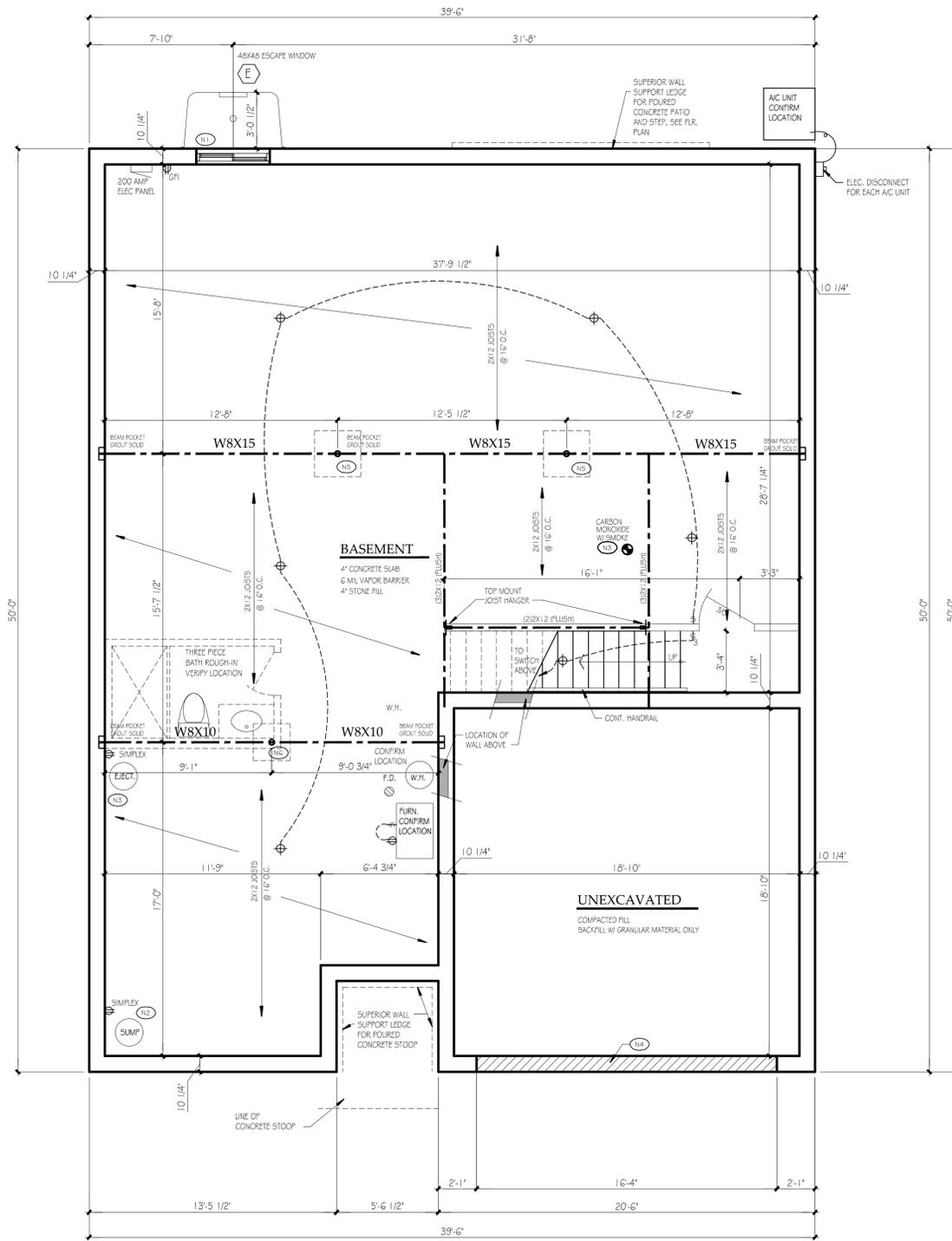
### RISER DIAGRAM (WASTE)

NO SCALE

UNIT FIXTURE COUNT	FIXTURE COUNT	MULTIPLIER	SUB TOTAL
BATH TUB	1	2	2
WATER CLOSET	2	3	6
SINK	1	2	2
WASHING MACHINE	1	2	2
LAVATORY	3	1	3
LAUNDRY TRAY	1	3	3
DISHWASHER	1	1	1
HOSE BIBS	2	0.75	1.5
<b>TOTAL</b>			<b>20.5</b>

PIPE SIZE REQUIRED 20.5 UNITS = 1"  
 METER SIZE REQUIREMENT = 3/4"

NOTE: ALL DRAIN, WASTE AND VENT PIPING SHALL BE TESTED PRIOR TO ENCLOSING. SUCH TEST SHALL BE DONE BY FILLING THE ENTIRE SYSTEM WITH WATER. WHEN WEATHER CONDITIONS PRECLUDE WATER TESTING, THE ENTIRE SYSTEM SHALL BE PUT UNDER AIR PRESSURE AT 5 LBS. FOR A PERIOD OF 15 MINUTES.



### FOUNDATION PLAN

SCALE: 1/4"=1'-0"

### GENERAL NOTES

- ALL FOUNDATION WALLS TO BE SUPERIOR WALL
- (E) EMERGENCY EGRESS OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES.
- (N1) 4/0 X 4/0 SLIDING VINYL BASEMENT WINDOW
- METAL WINDOW WELL WITH DRAIN TO FOOTING DRAIN TILE. THE HORIZONTAL DIMENSION OF A WINDOW WELL SHALL PROVIDE A MINIMUM NET CLEAR AREA OF 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36". PROVIDE OPERABLE WINDOW WELL COVER.
- IF BASE OF ESCAPE WINDOW WELL IS MORE THAN 44" BELOW GRADE THEN ATTACH ESCAPE LADDER TO WINDOW WELL. MIN. 12" WIDE & 3' PROJECTION FROM WALL WITH STEPS SPACED @ 18" O.C. MAX.
- PROVIDE STRUCTURAL GRATE COVER OVER WELL.
- (N2) SLUMP PUMP W/ BATTERY BACK-UP. PROVIDE WATER LEVEL SENSING AUDIBLE ALARM W/ DIAL OUT FEATURE. ACTUAL LOCATION TO BE DETERMINED BY THE CONTRACTOR. TRIM 1" (MIN.) A.F.F.
- DUE TO DRAINAGE ISSUES, SLUMP MUST DISCHARGE TO FRONT YARD. MAY CONNECT TO STORM SEWER IN MAIN STREET
- (N3) EJECTOR PIT, ACTUAL LOCATION TO BE DETERMINED BY THE CONTRACTOR. TRIM FLUSH WITH FLOOR.
- (N4) RECESS TOP OF FOUNDATION 1'-2" UNDER OVERHEAD DOOR
- (N5) 3 1/2" DIA. STANDARD STEEL COLUMN (NOT LALLY COLUMN) W/ 2x6 X 2x6 X 1/0 CONCRETE FOOTING. (TYP.)
- (N6) 3 1/2" DIA. STANDARD STEEL COLUMN (NOT LALLY COLUMN) W/ 20 X 20 X 1/0 CONCRETE FOOTING. (TYP.)

**GROUNDING ELECTRODE SYSTEM**  
 NEC 2011 250.52(3) - GROUNDING ELECTRODES: ROD & PIPE ELECTRODES  
 ROD AND PIPE ELECTRODES SHALL NOT BE LESS THAN 2.44M (8 FT) IN LENGTH AND SHALL CONSIST OF THE FOLLOWING MATERIALS:  
 (a) GROUNDING ELECTRODES OF PIPE OR CONDUIT SHALL NOT BE SMALLER THAN THE OUTER SURFACE GALVANIZED OR OTHERWISE METAL-COATED FOR CORROSION PROTECTION.  
 (b) ROD-TYPE GROUNDING ELECTRODES OF STAINLESS STEEL AND COPPER OR ZINC COATED STEEL SHALL BE AT LEAST 15.87MM (5/8 IN) IN DIAMETER, UNLESS LISTED.

ELECTRICAL CONTRACTOR TO INSTALL (2) GROUNDING ELECTRODES OF EITHER ROD OR PIPE PER NEC 2011 250.52(5)

**Warrenville Development**  
 35729 West Ave., Warrenville, IL 60555

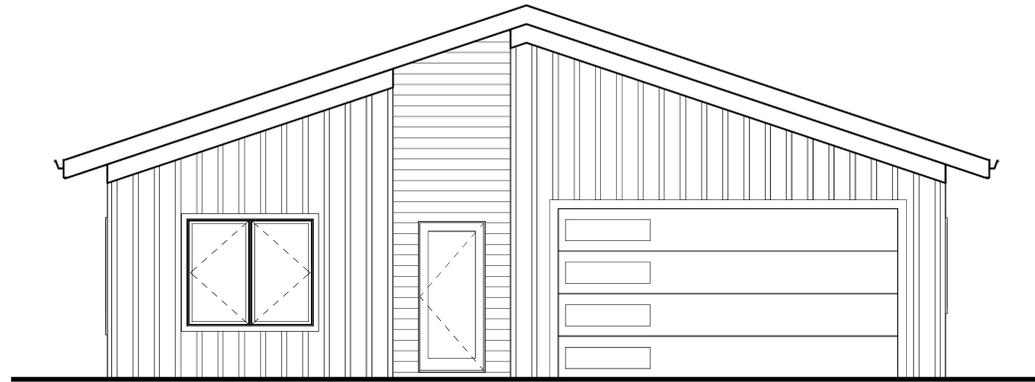
5012 Fairview Ave.  
 Downers Grove, IL 60515  
 630.789.2513  
 studio21 architects  
 studio21architects.com

DATE  
 07/16/25

REVISIONS

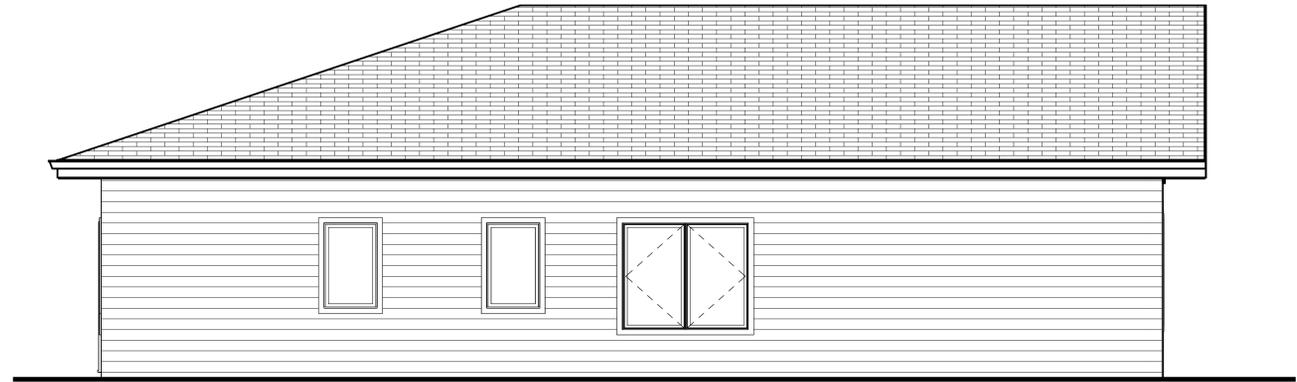
PROJECT  
 24118  
 SHEET  
 A1.0





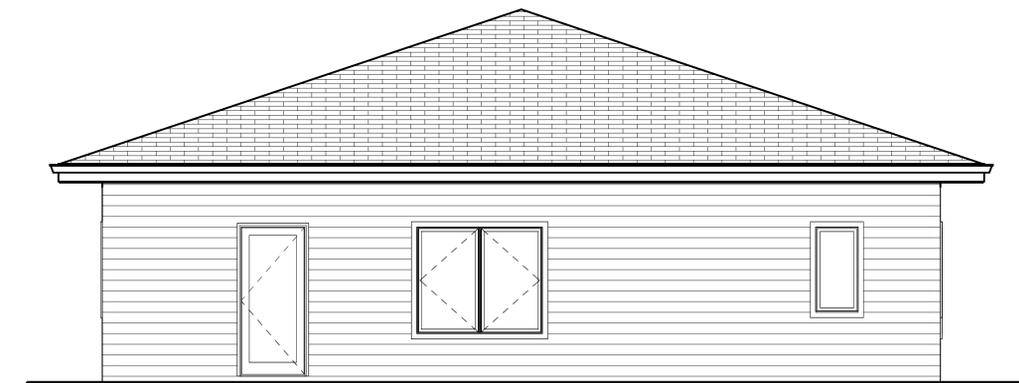
**FRONT ELEVATION BUILDING 1**

SCALE: 1/4" = 1'-0"



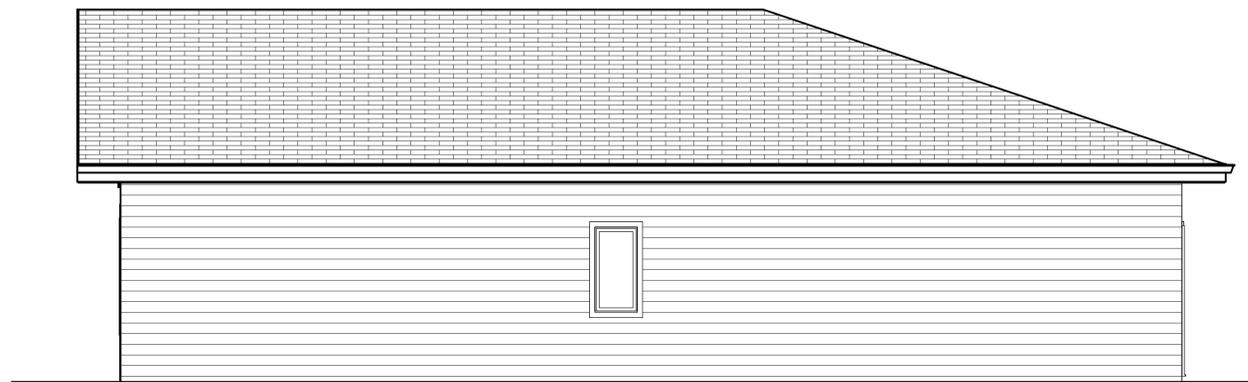
**LEFT ELEVATION BUILDING 1**

SCALE: 1/4" = 1'-0"



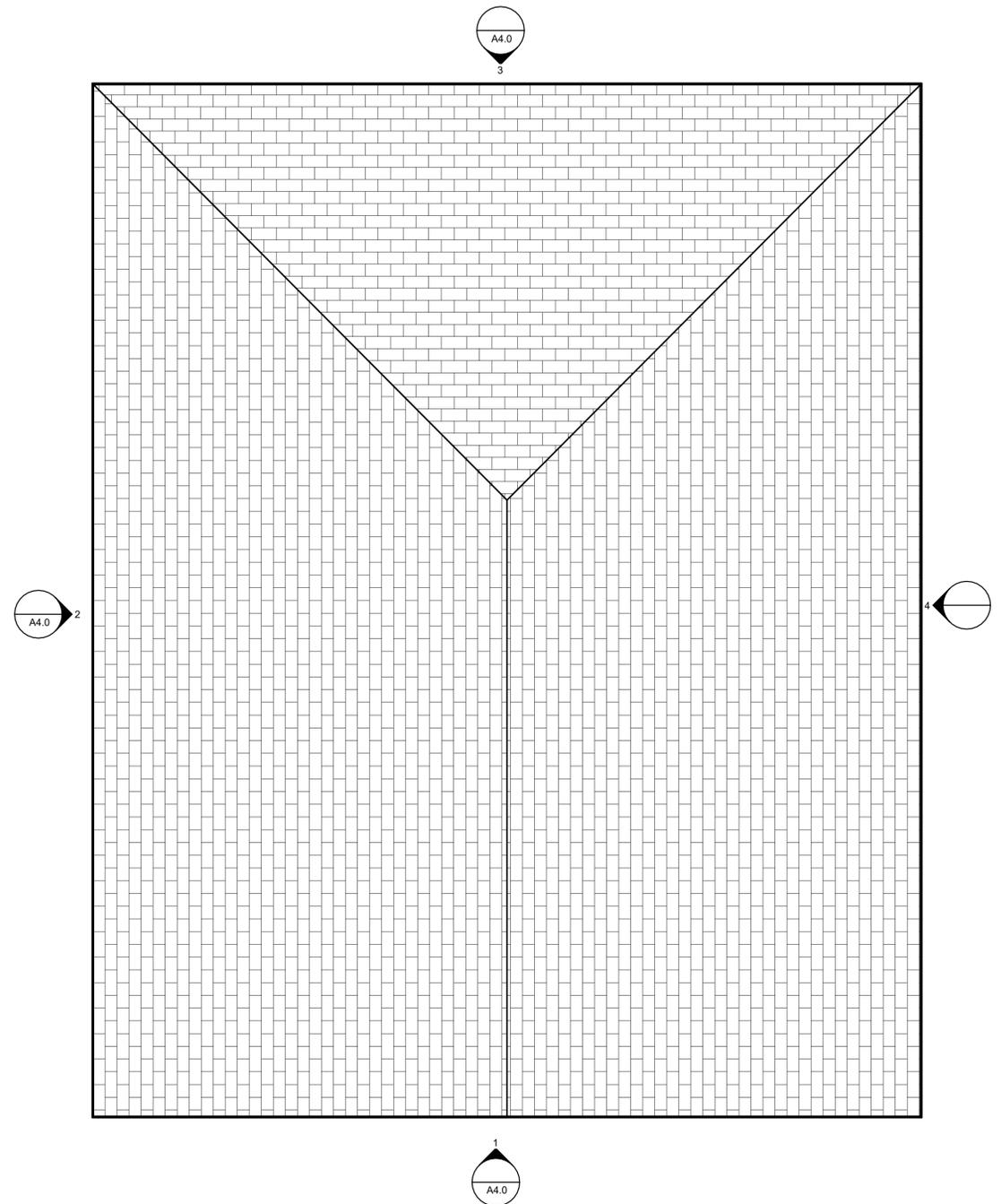
**REAR ELEVATION BUILDING 1**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION BUILDING 1**

SCALE: 1/4" = 1'-0"



**ROOF PLAN BUILDING 1**

SCALE: 1/4" = 1'-0"

**WARRENVILLE DEV.**  
35729 West Avenue, Warrenville, IL

**studio21 architects**  
5012 Fairview Ave.  
Downers Grove, IL 60515  
630.789.2513  
studio21architects.com

DATE  
**07-16-25**

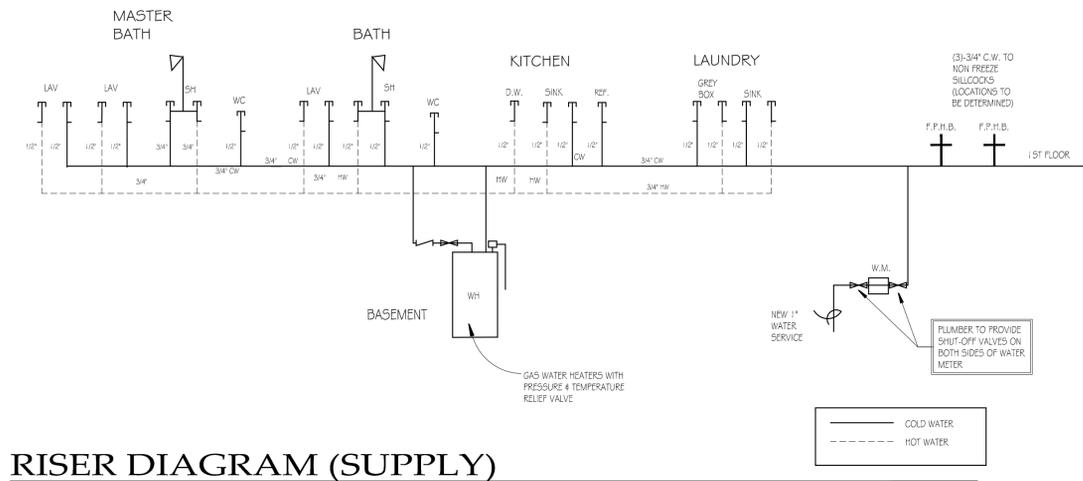
REVISION

PROJECT  
**24118**

SHEET  
**A4.0**

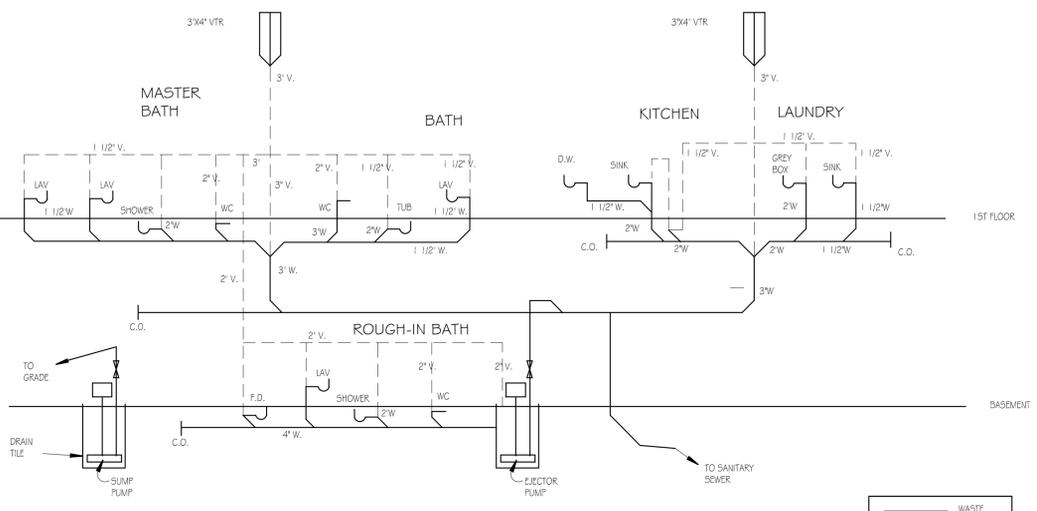






**RISER DIAGRAM (SUPPLY)**

NO SCALE



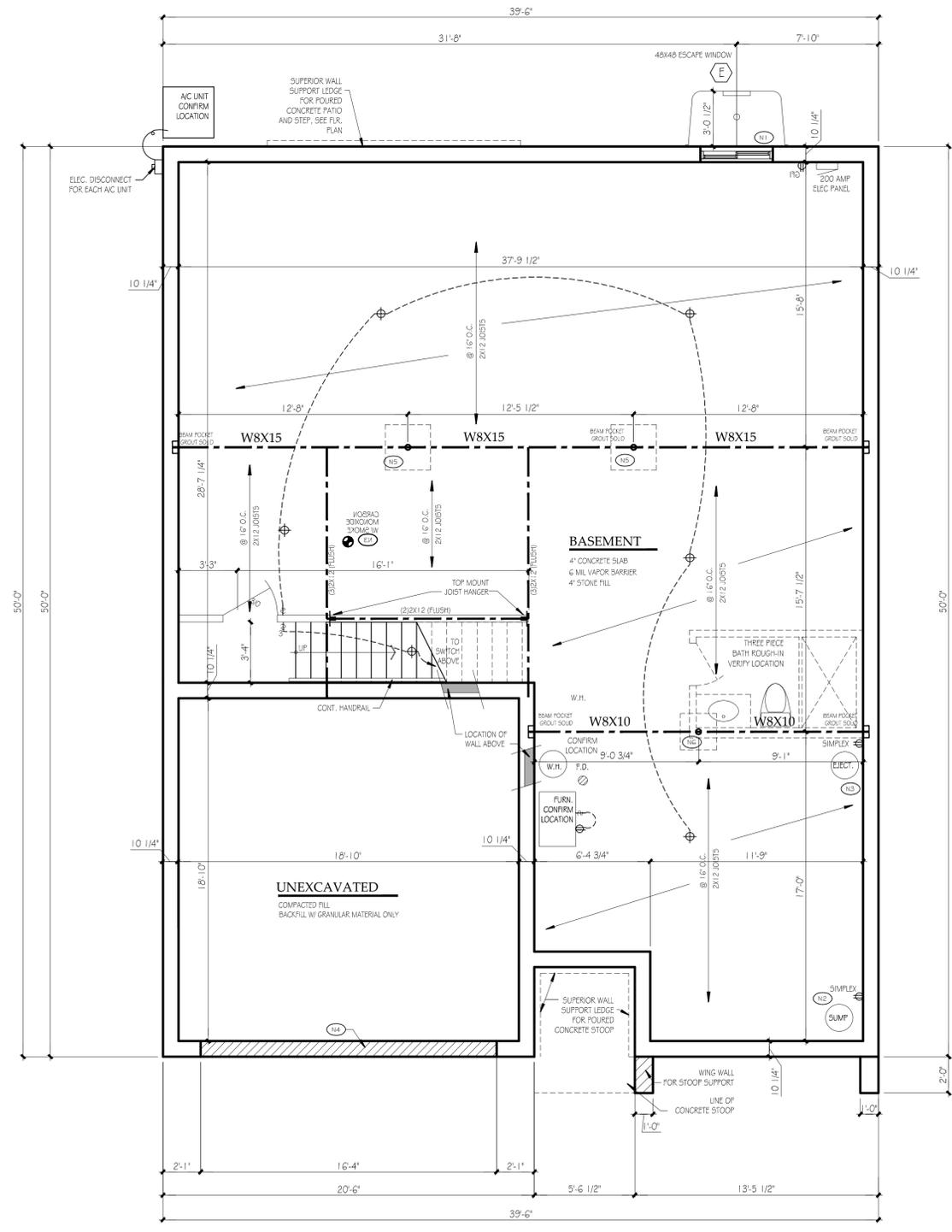
**RISER DIAGRAM (WASTE)**

NO SCALE

UNIT FIXTURE COUNT	FIXTURE COUNT	MULTIPLIER	SUB TOTAL
BATH TUB	1	2	2
WATER CLOSET	2	3	6
SINK	1	2	2
WASHING MACHINE	1	2	2
LAVATORY	3	1	3
LAUNDRY TRAY	1	3	3
DISHWASHER	1	1	1
HOSE BIBS	2	0.75	1.5
<b>TOTAL</b>			<b>20.5</b>

PIPE SIZE REQUIRED 20.5 UNITS = 1"  
 METER SIZE REQUIREMENT = 3/4"

NOTE: ALL DRAIN, WASTE AND VENT PIPING SHALL BE TESTED PRIOR TO ENCLOSING. SUCH TEST SHALL BE DONE BY FILLING THE ENTIRE SYSTEM WITH WATER. WHEN WEATHER CONDITIONS PRECLUDE WATER TESTING, THE ENTIRE SYSTEM SHALL BE PUT UNDER AIR PRESSURE AT 5 LBS. FOR A PERIOD OF 15 MINUTES.



**FOUNDATION PLAN**

SCALE: 1/4"=1'-0"

**GENERAL NOTES**

- ALL FOUNDATION WALLS TO BE SUPERIOR WALL
- (E) EMERGENCY EGRESS OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS, WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES.
- (N1) 4/0 X 4/0 SLIDING VINYL BASEMENT WINDOW
- (N2) METAL WINDOW WELL WITH DRAIN TO FOOTING DRAIN TILE. THE HORIZONTAL DIMENSION OF A WINDOW WELL SHALL PROVIDE A MINIMUM NET CLEAR AREA OF 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36". PROVIDE OPERABLE WINDOW WELL COVER.
- (N3) IF BASE OF ESCAPE WINDOW WELL IS MORE THAN 44" BELOW GRADE THEN ATTACH ESCAPE LADDER TO WINDOW WELL. MIN. 12" WIDE & 3' PROJECTION FROM WALL WITH STEPS SPACED @ 18" O.C. MAX.
- (N4) PROVIDE STRUCTURAL GRATE COVER OVER WELL.
- (N5) SUMP PUMP W/ BATTERY BACK-UP. PROVIDE WATER LEVEL SENSING AUDIBLE ALARM W/ DIAL OUT FEATURE. ACTUAL LOCATION TO BE DETERMINED BY THE CONTRACTOR. TRIM 1" (MIN.) A.F.F.
- (N6) DUE TO DRAINAGE ISSUES, SUMP MUST DISCHARGE TO FRONT YARD. MAY CONNECT TO STORM SEWER IN MAIN STREET.
- (N7) EJECTOR PIT, ACTUAL LOCATION TO BE DETERMINED BY THE CONTRACTOR. TRIM FLUSH WITH FLOOR.
- (N8) RECESS TOP OF FOUNDATION 1'-2" UNDER OVERHEAD DOOR.
- (N9) 3 1/2" DIA. STANDARD STEEL COLUMN (NOT LALLY COLUMN) W/ 2x6 X 2x6 X 1/0 CONCRETE FOOTING. (TYP.)
- (N10) 3 1/2" DIA. STANDARD STEEL COLUMN (NOT LALLY COLUMN) W/ 20 X 20 X 1/0 CONCRETE FOOTING. (TYP.)

**GROUNDING ELECTRODE SYSTEM**  
 NEC 2011 250.52(3) - GROUNDING ELECTRODES: ROD & PIPE ELECTRODES  
 ROD AND PIPE ELECTRODES SHALL NOT BE LESS THAN 2.44M (8 FT) IN LENGTH AND SHALL CONSIST OF THE FOLLOWING MATERIALS.  
 (a) GROUNDING ELECTRODES OF PIPE OR CONDUIT SHALL NOT BE SMALLER THAN THE OUTER SURFACE GALVANIZED OR OTHERWISE METAL-COATED FOR CORROSION PROTECTION.  
 (b) ROD-TYPE GROUNDING ELECTRODES OF STAINLESS STEEL AND COPPER OR ZINC COATED STEEL SHALL BE AT LEAST 15.87MM (5/8 IN) IN DIAMETER, UNLESS LISTED.

ELECTRICAL CONTRACTOR TO INSTALL (2) GROUNDING ELECTRODES OF EITHER ROD OR PIPE PER NEC 2011 250.52(5)

**Warrenville Development**  
 35729 West Ave., Warrenville, IL 60555

5012 Fairview Ave.  
 Downers Grove, IL 60515  
**studio21 architects**  
 630.789.2513  
 studio21architects.com

DATE  
**07/16/25**

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**24118**  
 SHEET

**A1.0**

**LIGHT & VENTILATION REQUIREMENTS**

ROOM NUMBER	ROOM DESCRIPTION	FLOOR AREA SQ. FT.	CODE REQUIREMENTS			ACTUAL PROVIDED		
			NATURAL LIGHT & VENTILATION		MECH VENT	NATURAL LIGHT & VENTILATION		MECH VENT
			GLASS SQ FT	VENT SQ FT	CFM EXHAUST	GLASS SQ FT	VENT SQ FT	CFM EXHAUST
	BASEMENT	1,225	24.50	24.50		16.00	8.00	
	Great Room/Dinette	398	31.84	15.92		32.64	34.27	
	MASTER BEDROOM	172	13.76	6.88		14.83	12.01	
	BEDROOM 2	122	9.76	4.88		20.54	16.47	
	BEDROOM 3	118	9.44	4.72		20.54	16.47	
	MASTER BATH	72				48.24		70.00
	BATH	47				31.16		70.00

\* IN ROOMS WHERE GLAZING IS NOT PROVIDED ARTIFICIAL LIGHT MUST BE PROVIDED CAPABLE OF PRODUCING AN AVG. ILLUMINATION OF 10 FOOT CANDLES OVER THE AREA OF THE ROOM @ 30" A.F.F.

\*\* IN ROOMS WHERE NATURAL VENTILATION IS NOT PROVIDED, AN APPROVED MECHANICAL VENTILATION SYSTEM MUST BE PROVIDED CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR.

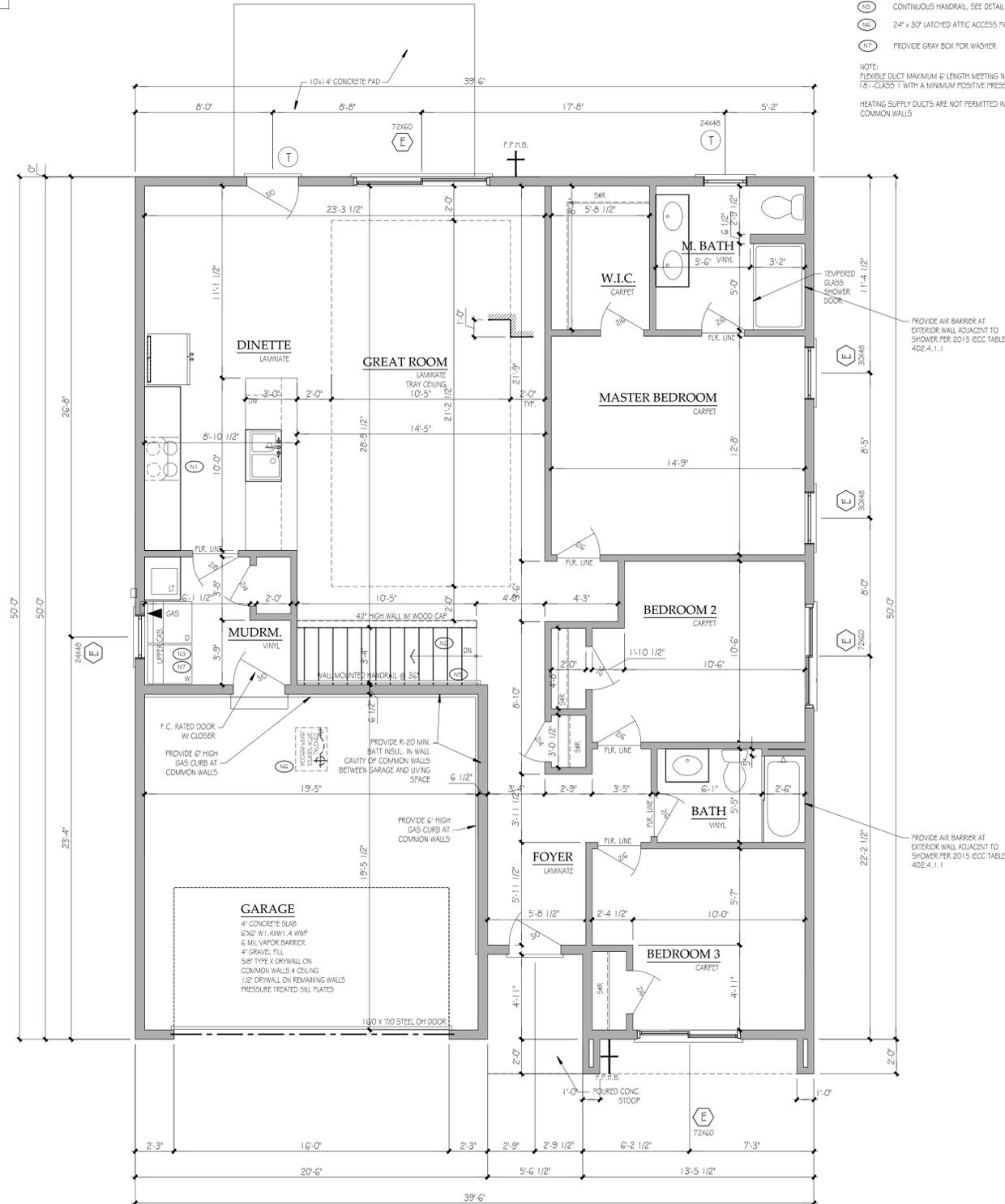
**GENERAL NOTES**

ALL WINDOWS SIZES SHOWN ARE AS MANUFACTURED BY 'SIERRA PACIFIC' VINYL WINDOW UNLESS NOTED OTHERWISE

(E) EMERGENCY EGRESS OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES.

- (M1) WALL MOUNT MICROWAVE ABOVE RANGE
- (M2) CARPENTER BUILT STAIRS
- (M3) PROVIDE DRAIN PAN BELOW WASHING MACHINE.
- (M4) 36" HIGH WOOD RAILING W/ BALUSTERS @ 4" O.C. MAX.
- (M5) CONTINUOUS HANDRAIL, SEE DETAIL ON A0.2
- (M6) 24" x 30" LATCHED ATTIC ACCESS PANEL W/ P.C. LIGHT
- (M7) PROVIDE GRAY BOX FOR WASHER.

NOTE: FLEXIBLE DUCT MAXIMUM G' LENGTH MEETING NFPA STANDARDS 90A AND 90B AND IS UL LISTED 181-CLASS T WITH A MINIMUM POSITIVE PRESSURE RATING OF 6" WATER GAUGE. HEATING SUPPLY DUCTS ARE NOT PERMITTED IN EXTERIOR WALLS OR HOUSE TO GARAGE COMMON WALLS



**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

1,538 sq. ft.

**Warrenville Development**  
35729 West Ave., Warrenville, IL 60555

5012 Fairview Ave.  
Downers Grove, IL 60515  
630.789.2513  
studio21architects.com

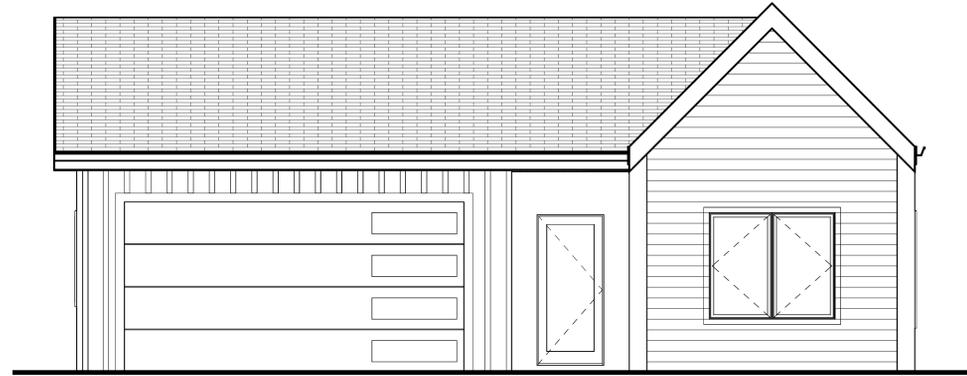
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07/16/25

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PROJECT  
24118

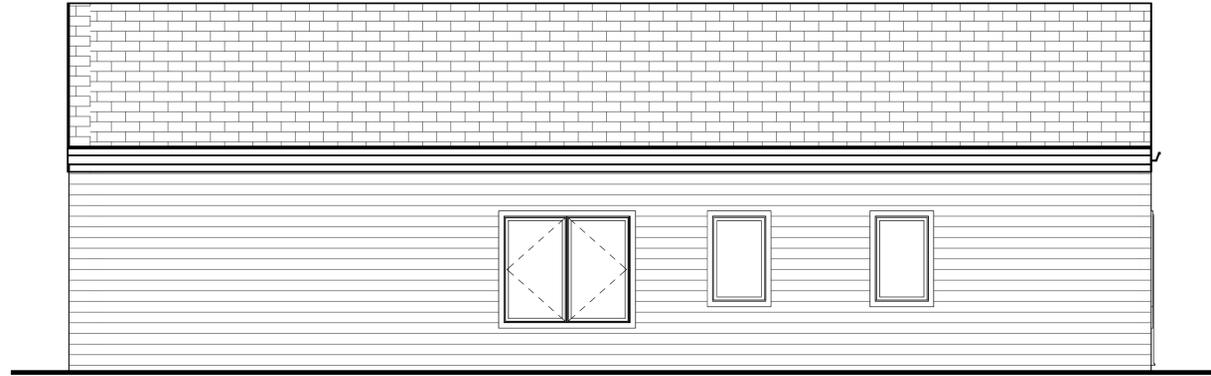
SHEET

A2.0



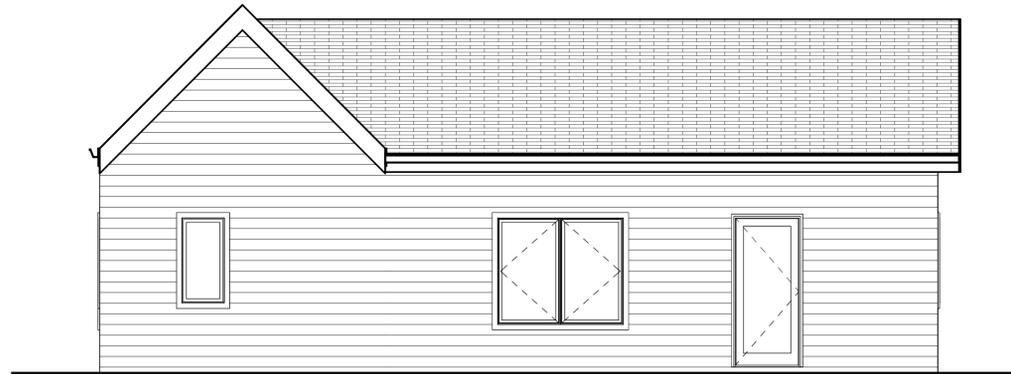
**FRONT ELEVATION BUILDING 2**

SCALE: 1/4" = 1'-0"



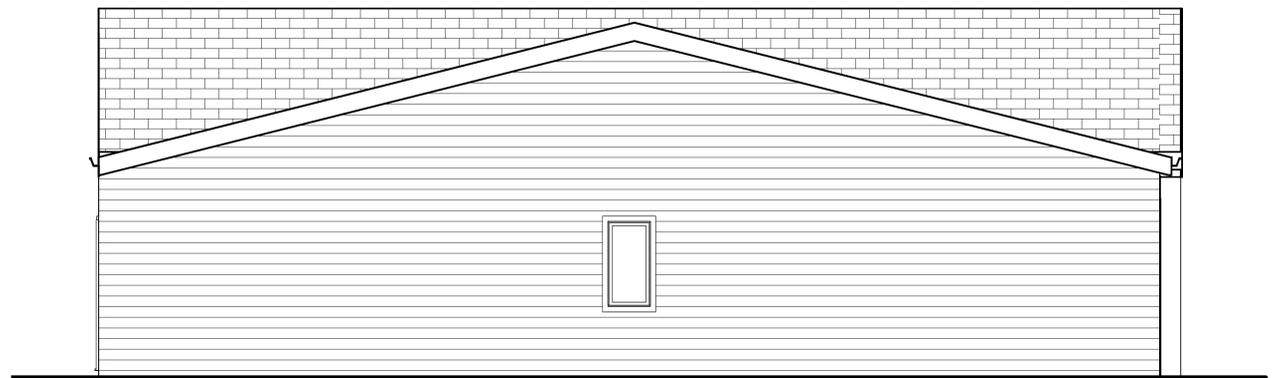
**RIGHT ELEVATION BUILDING 2**

SCALE: 1/4" = 1'-0"



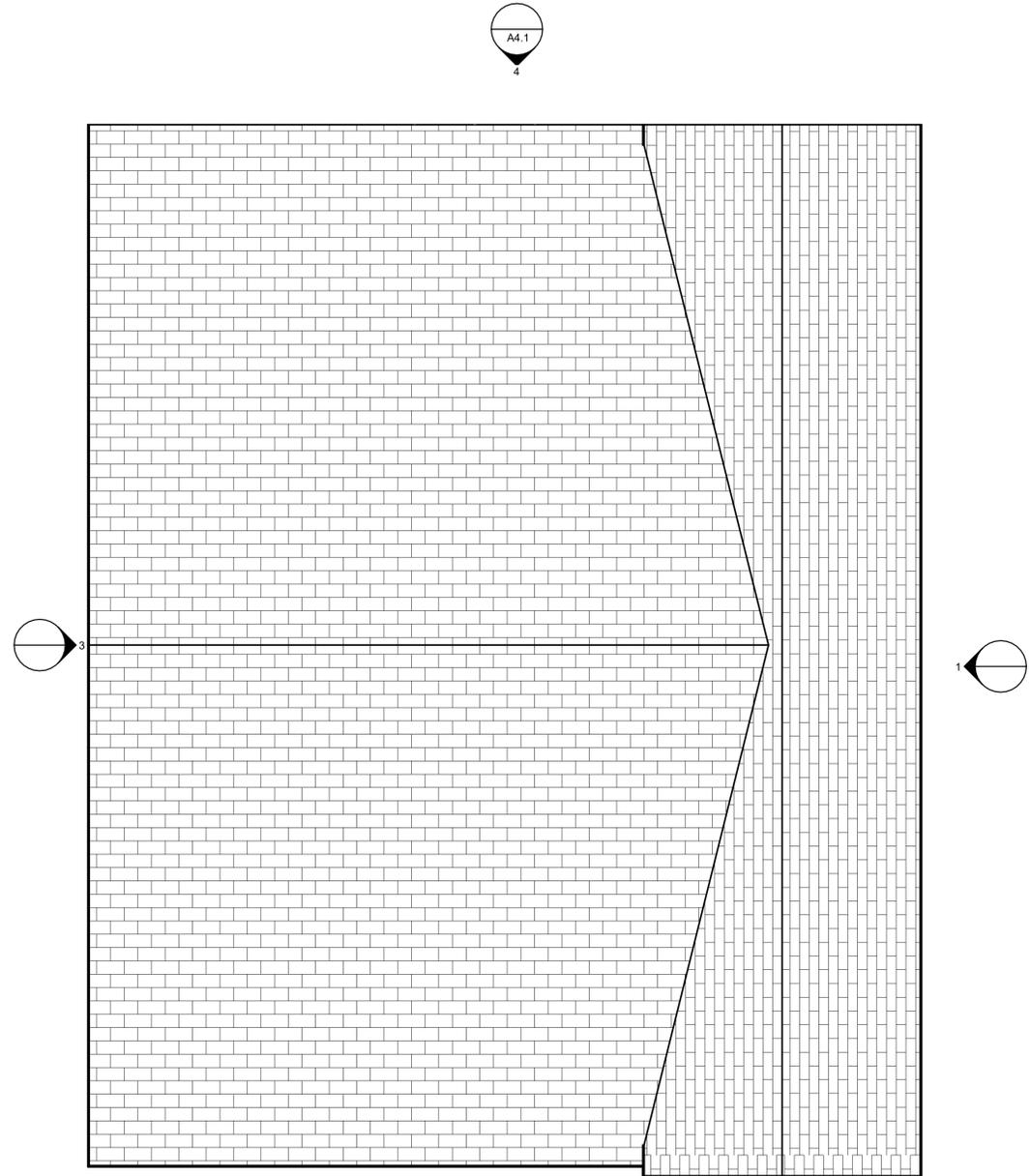
**REAR ELEVATION BUILDING 2**

SCALE: 1/4" = 1'-0"



**LEFT ELEVATION BUILDIGN 2**

SCALE: 1/4" = 1'-0"



**ROOF PLAN BUILDING 2**

SCALE: 1/4" = 1'-0"

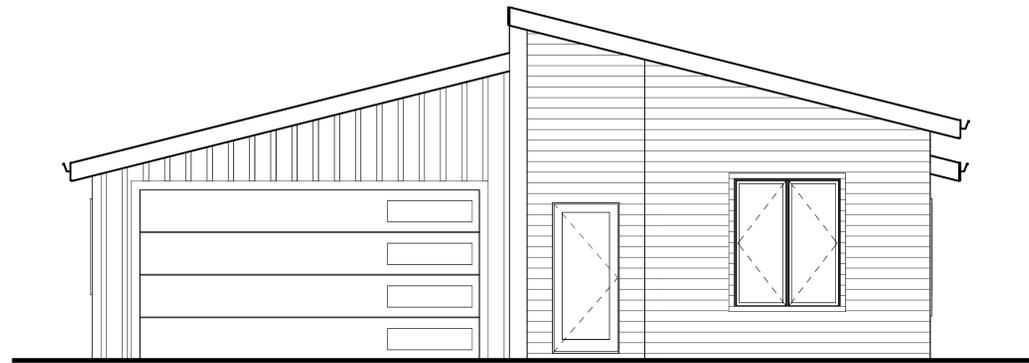
REVISION





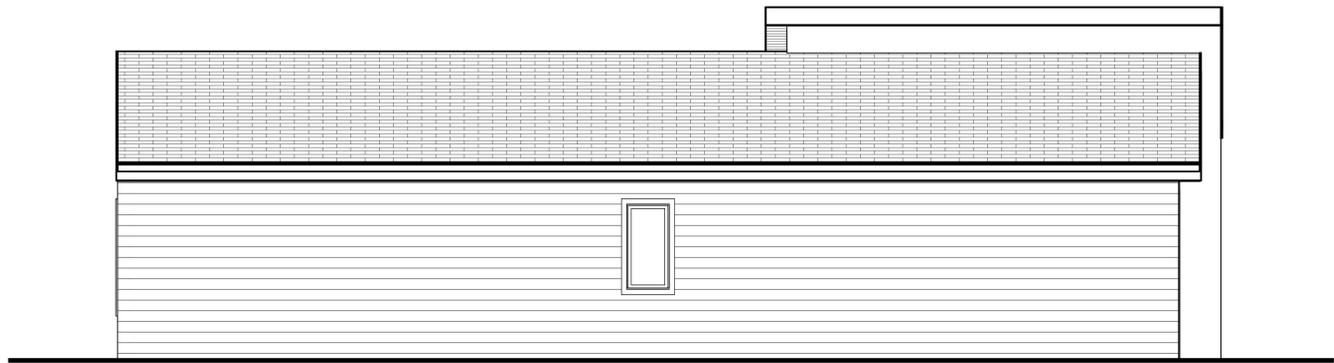






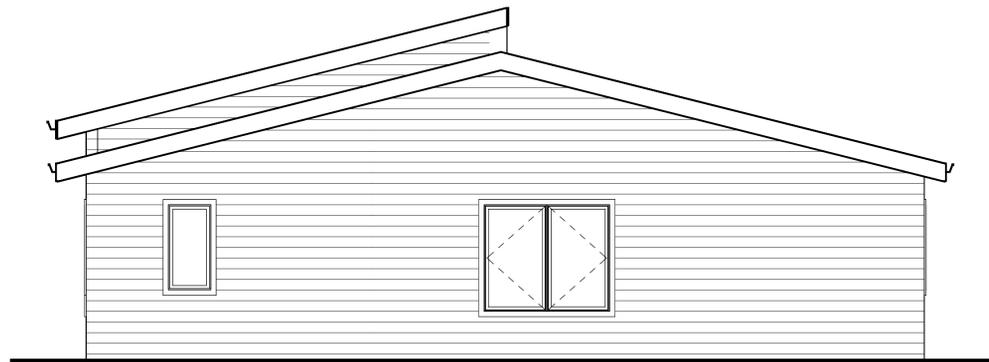
**FRONT ELEVATION BUILDING 3**

SCALE: 1/4" = 1'-0"



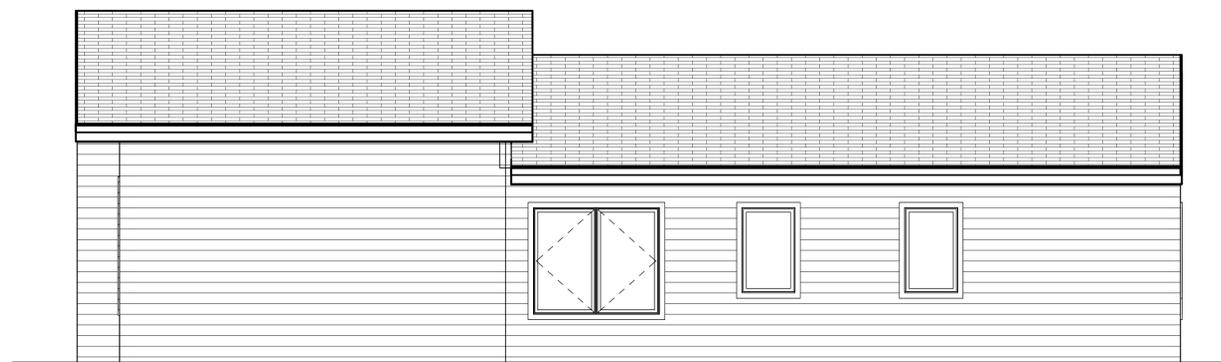
**LEFT ELEVATION BUILDING 3**

SCALE: 1/4" = 1'-0"



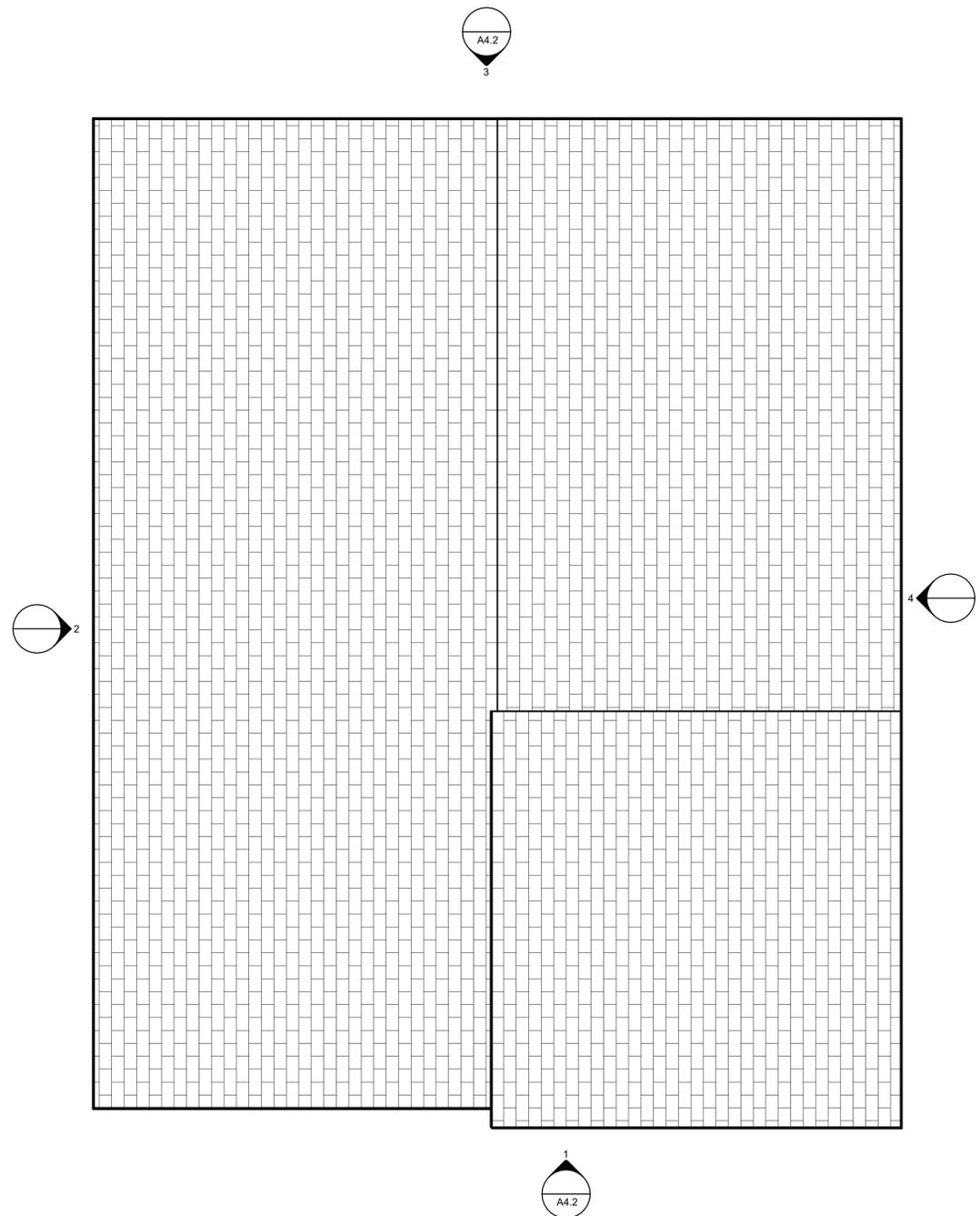
**REAR ELEVATION BUILDING 3**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION BUILDING 3**

SCALE: 1/4" = 1'-0"



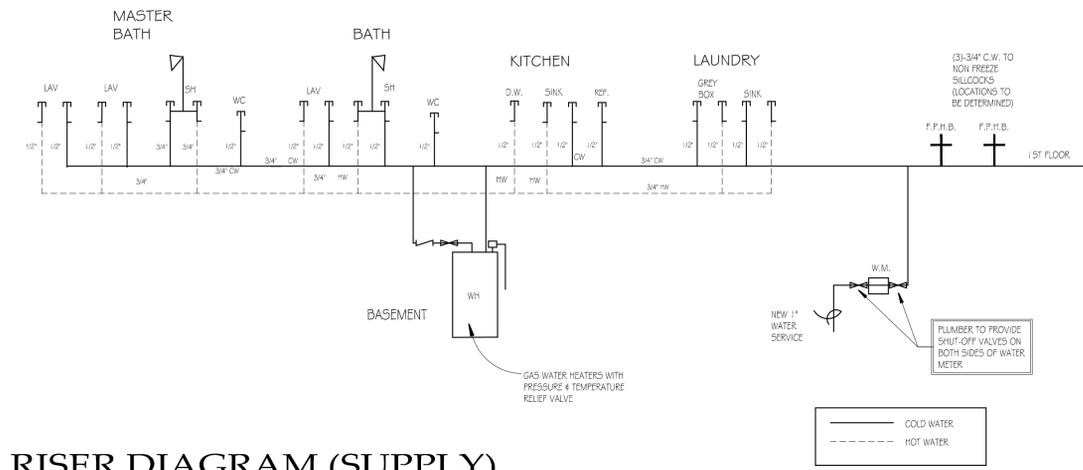
**ROOF PLAN BUILDING 3**

SCALE: 1/4" = 1'-0"

REVISION

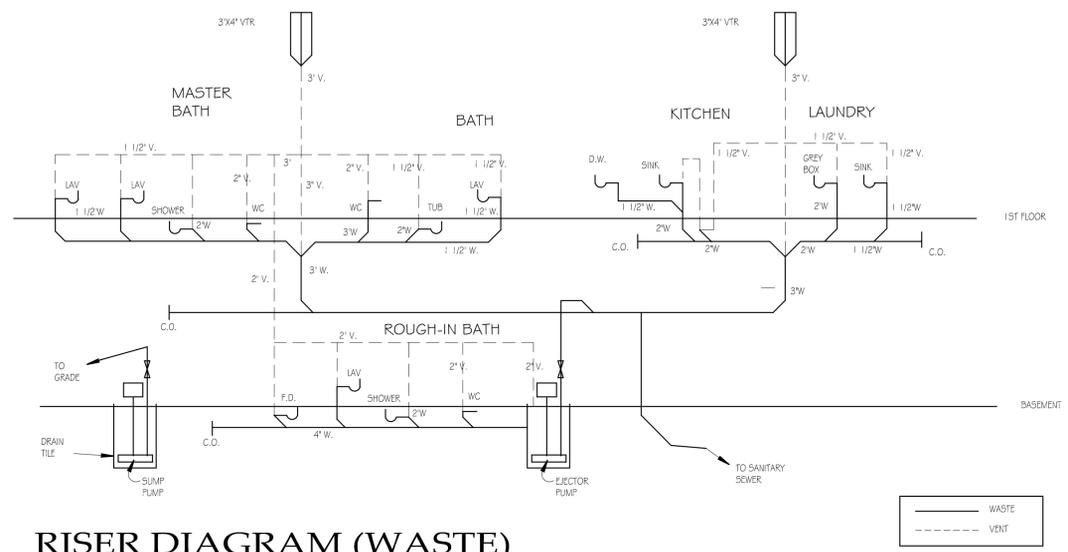






### RISER DIAGRAM (SUPPLY)

NO SCALE



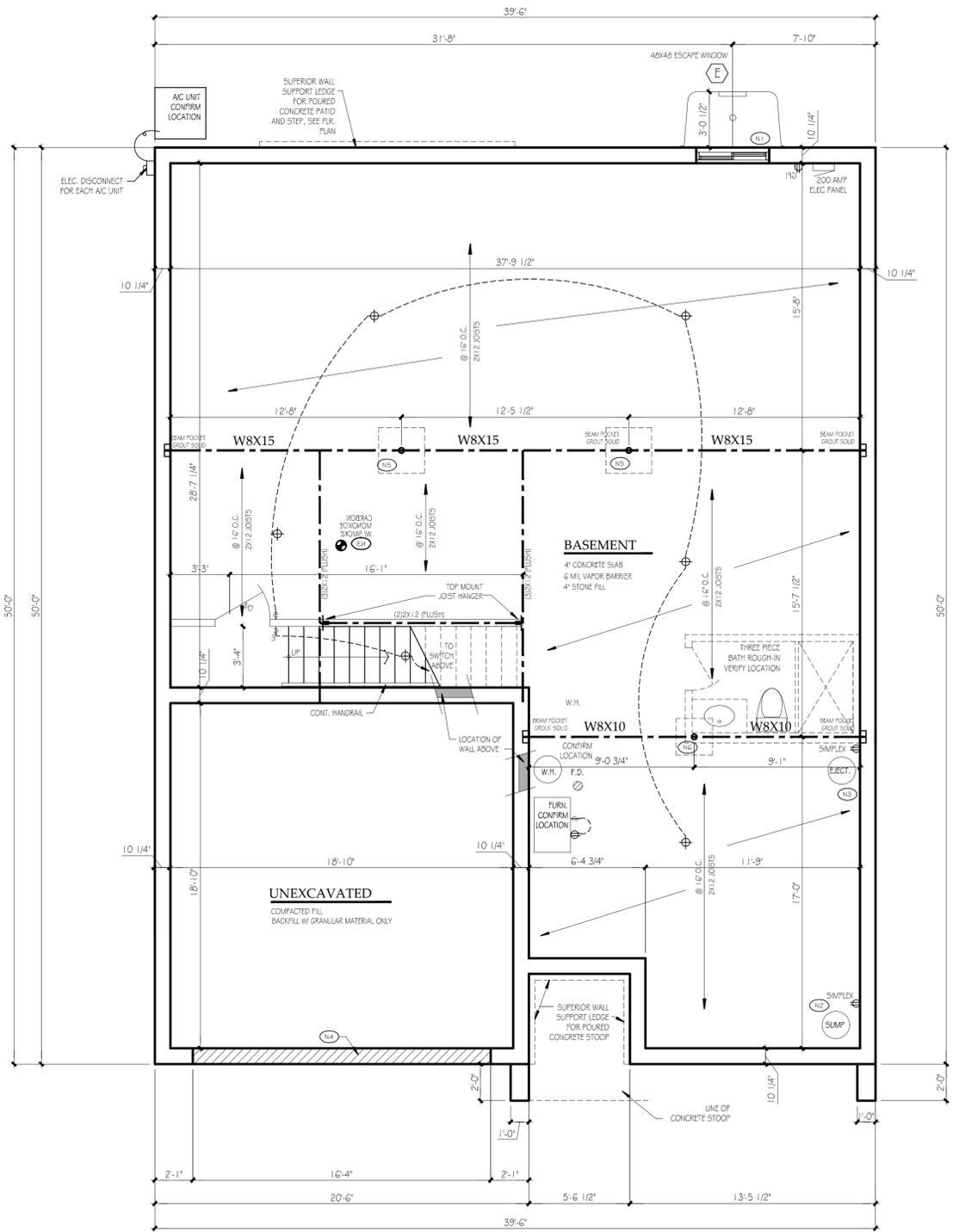
### RISER DIAGRAM (WASTE)

NO SCALE

UNIT FIXTURE COUNT	FIXTURE COUNT	MULTIPLIER	SUB TOTAL
BATH TUB	1	2	2
WATER CLOSET	2	3	6
SINK	1	2	2
WASHING MACHINE	1	2	2
LAVATORY	3	1	3
LAUNDRY TRAY	1	3	3
DISHWASHER	1	1	1
HOSE BIBS	2	0.75	1.5
<b>TOTAL</b>			<b>20.5</b>

PIPE SIZE REQUIRED 20.5 UNITS = 1"  
 METER SIZE REQUIREMENT = 3/4"

NOTE: ALL DRAIN, WASTE AND VENT PIPING SHALL BE TESTED PRIOR TO ENCLOSING. SUCH TEST SHALL BE DONE BY FILLING THE ENTIRE SYSTEM WITH WATER. WHEN WEATHER CONDITIONS PRECLUDE WATER TESTING, THE ENTIRE SYSTEM SHALL BE PUT UNDER AIR PRESSURE AT 5 LBS. FOR A PERIOD OF 15 MINUTES.



### FOUNDATION PLAN

SCALE: 1/4"=1'-0"

### GENERAL NOTES

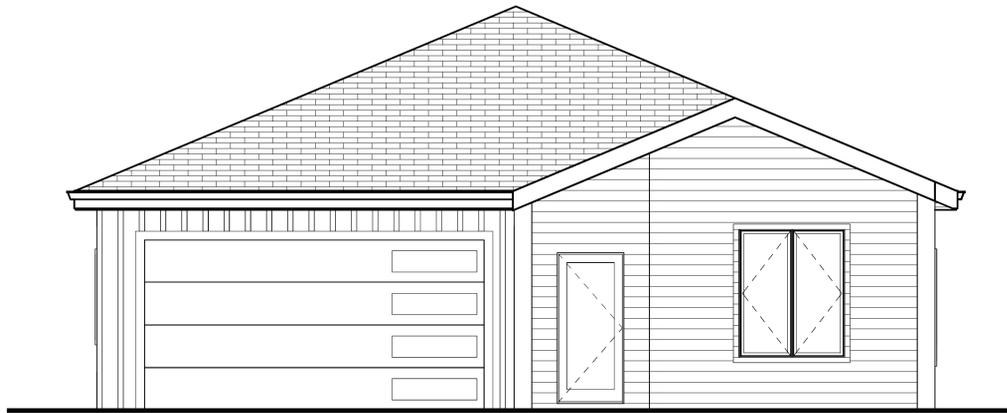
- ALL FOUNDATION WALLS TO BE SUPERIOR WALL
- (E) EMERGENCY EGRESS OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES.
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- METAL WINDOW WELL WITH DRAIN TO FOOTING DRAIN TILE. THE HORIZONTAL DIMENSION OF A WINDOW WELL SHALL PROVIDE A MINIMUM NET CLEAR AREA OF 9 SQ. FT. WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36". PROVIDE OPERABLE WINDOW WELL COVER.
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- PROVIDE STRUCTURAL GRATE COVER OVER WELL.
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- DUE TO DRAINAGE ISSUES, SLUMP MUST DISCHARGE TO FRONT YARD. MAY CONNECT TO STORM SEWER IN MAIN STREET.
- (N3) EJECTOR PIT, ACTUAL LOCATION TO BE DETERMINED BY THE CONTRACTOR. TRIM FLUSH WITH FLOOR.
- (N4) RECESS TOP OF FOUNDATION 1'-2" UNDER OVERHEAD DOOR
- (N5) 3 1/2" DIA. STANDARD STEEL COLUMN (NOT LALLY COLUMN) W/ 2x6 X 2x6 X 1/0 CONCRETE FOOTING. (TYP.)
- (N6) 3 1/2" DIA. STANDARD STEEL COLUMN (NOT LALLY COLUMN) W/ 20 X 20 X 1/0 CONCRETE FOOTING. (TYP.)

**GROUNDING ELECTRODE SYSTEM**  
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 (a) GROUNDING ELECTRODES OF PIPE OR CONDUIT SHALL NOT BE SMALLER THAN THE OUTER SURFACE GALVANIZED OR OTHERWISE METAL-COATED FOR CORROSION PROTECTION.  
 (b) ROD-TYPE GROUNDING ELECTRODES OF STAINLESS STEEL AND COPPER OR ZINC COATED STEEL SHALL BE AT LEAST 15.87MM (5/8 IN) IN DIAMETER, UNLESS LISTED.

ELECTRICAL CONTRACTOR TO INSTALL (2) GROUNDING ELECTRODES OF EITHER ROD OR PIPE PER NEC 2011 250.52(5)

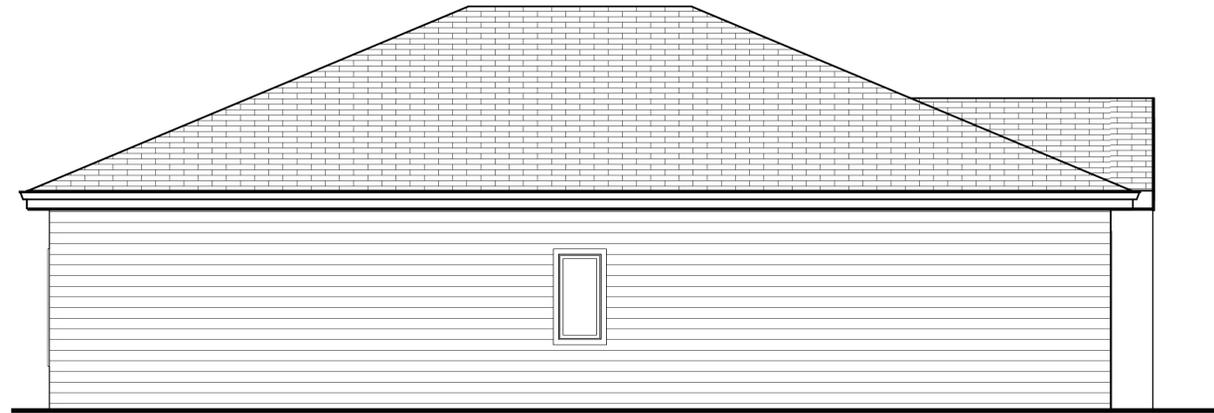
REVISIONS





**FRONT ELEVATION BUILDING 4**

SCALE: 1/4" = 1'-0"



**LEFT ELEVATION BUILDING 4**

SCALE: 1/4" = 1'-0"



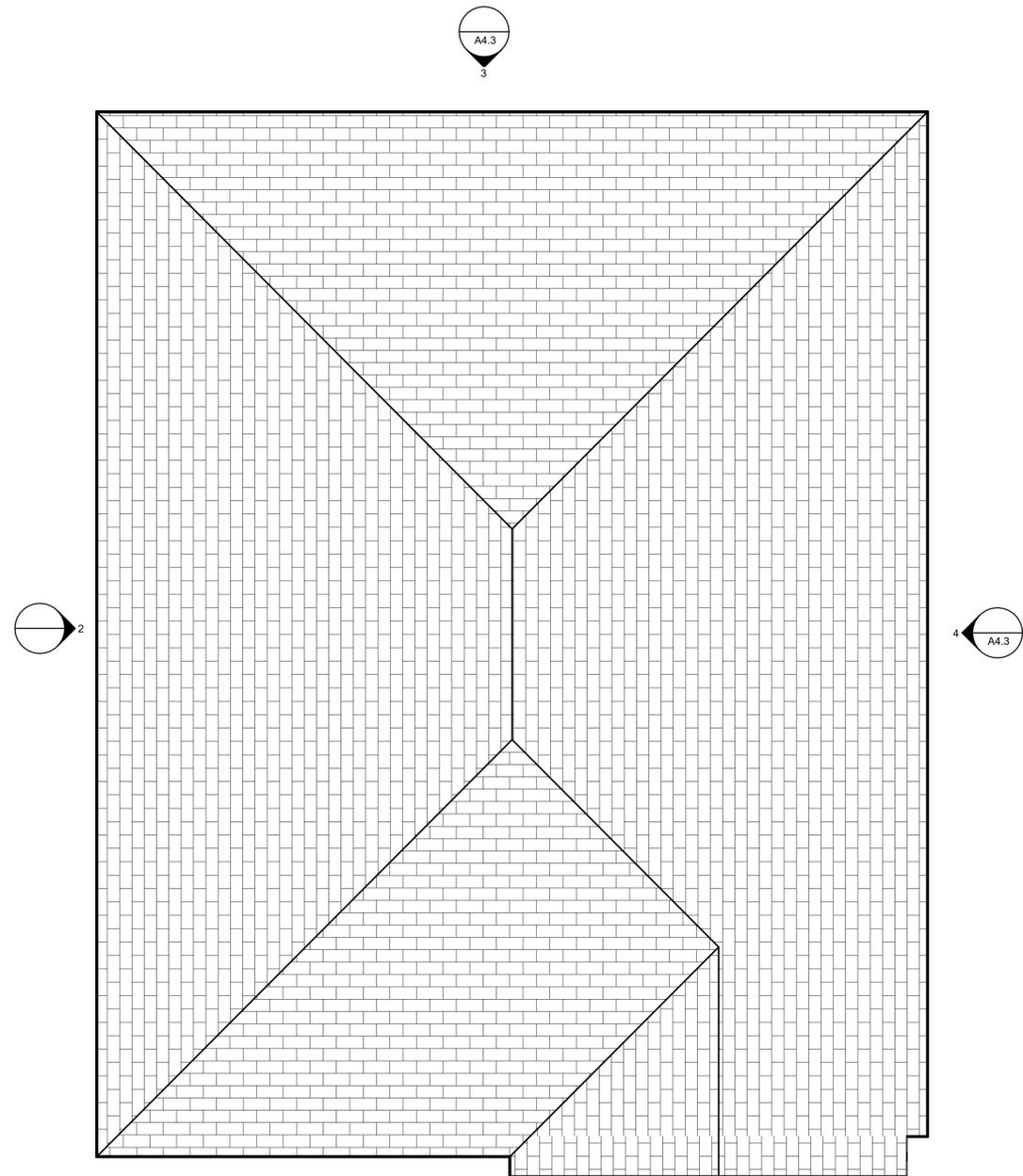
**REAR ELEVATION BUILDING 4**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION BUILDING 4**

SCALE: 1/4" = 1'-0"



**ROOF PLAN BUILDING 4**

SCALE: 1/4" = 1'-0"

REVISION

